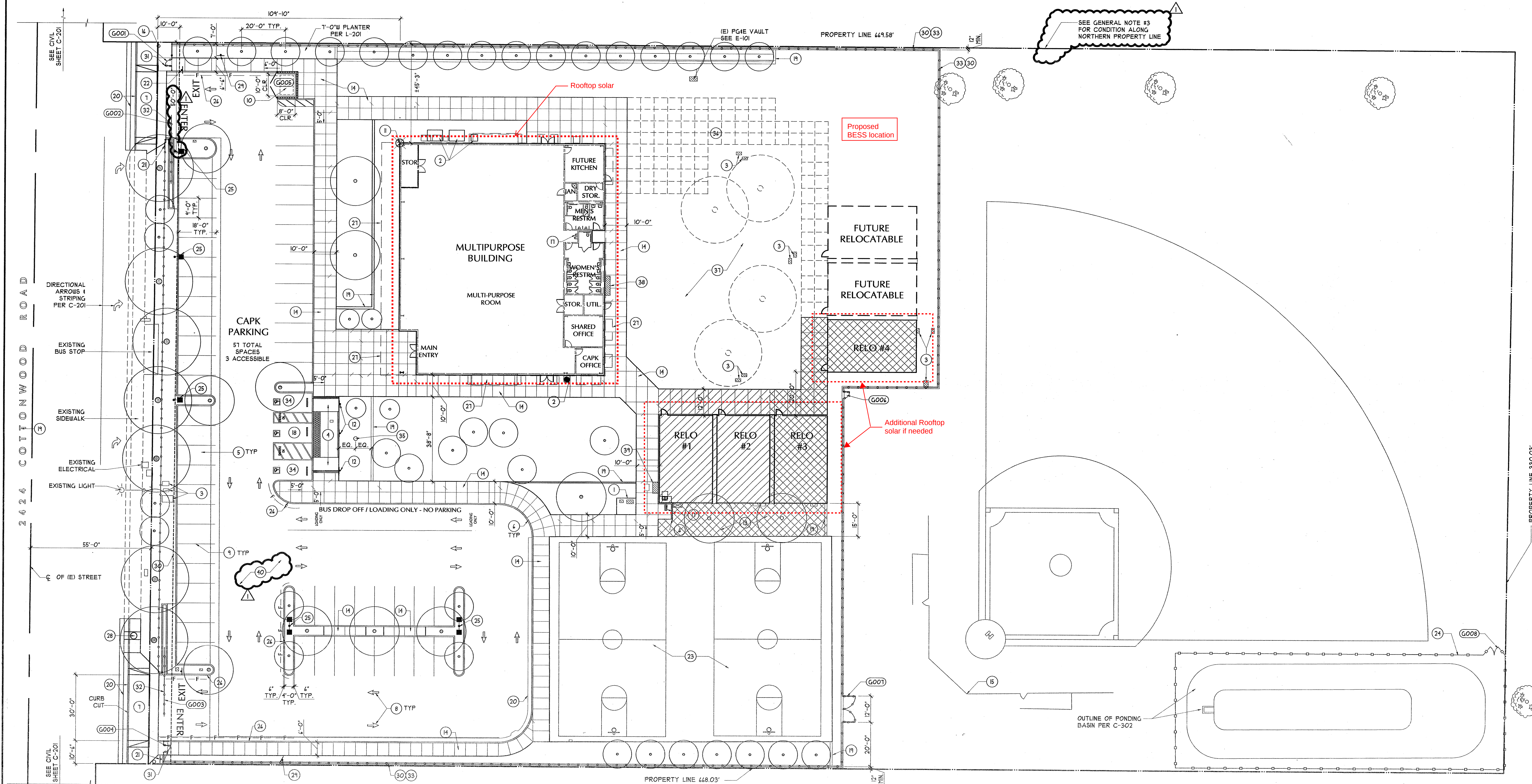
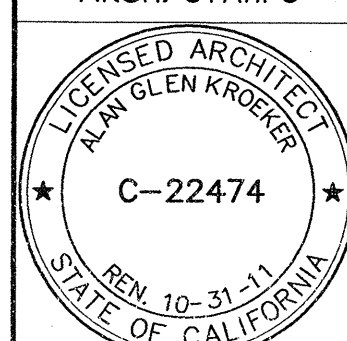




SITE PLAN
SCALE: 1" = 20'-0"

NUMBERED NOTES

- (3) UTILITY PAD-MOUNTED TRANSFORMER - REFER TO SHEET E-301
 - (2) FUTURE HYAC UNITS; HYAC GUARD PER DETAIL 
 - (3) ELECTRICAL AND COMM PULL BOXES SEE ELECTRICAL DRAWINGS
 - (4) ACCESSIBLE PARKING CURB RAMP - REFER TO SHEET C-201 & DETAIL 
 - (5) PARKING STALLS - REFER TO SHEET C-201
 - (4) 4" CONCRETE CURB. REFER TO SHEET C-201 & DETAIL 
 - (7) CONCRETE DRIVE APPROACH - REFER TO SHEET C-201 & DETAIL 
 - (8) DIRECTIONAL ARROW - REFER TO SHEET C-201 FOR LOCATION. PAINT PER DETAIL 
 - (9) 4" WHITE PAVED SPACE STRIPES - PAINT; REFER TO SHEET C-201
 - (10) REFUSE CONTAINER ENCLOSURE PER ADOPTED CITY OF BAKERSFIELD STANDARD (ST-25), 2 BIN CAPACITY - REFER TO SHEET C-201 FOR DIMENSIONS. SEE DETAIL  
 - (11) BUILDING BENCH MARK
 - (12) ACCESSIBLE PARKING SIGN.  
 - (13) 15" W PLANTER W/100" STRIP - TO BE COMPLETED AS PART OF ALTERNATE NO. 3
 - (14) CONCRETE SIDEWALK - REFER TO SHEET C-201 & DETAIL  CONCRETE JOINTS PER DETAIL 
 - (15) OUTLINES OF (E) BASEBALL BACKSTOP TO REMAIN - DEMO AS REQ'D TO INSTALL BASIN PER C-302.
 - (16) FIRE HYDRANT ASSEMBLY - REFER TO SHEETS C-201 & C-401
 - (11) ACCESSIBLE DRINKING FOUNTAIN PER DETAIL 
 - (18) VAN ACCESSIBLE PARKING STALL 
 - (19) CONCRETE NOW STRIP - REFER TO C-201 AND DETAIL 
 - (20) CONCRETE CURB / GUTTER - REFER TO SHEET C-201 & DETAILS 
 - (21) 'ENTRY SIGN' - REFER TO SHEET C-201 & DETAIL  
 - (22) 'NO LEFT TURN' SIGN - REFER TO SHEET C-201 & DETAIL 
 - (23) (E) BASKETBALL COURTS
 - (24) 4" H CHAIN LINK FENCING I DOUBLE GATE ENCLOSING PONDING BASIN
 - (25) 30' OVERALL LIGHT POLE, U.O.N., PER SHEET E-101
 - (26) RED PAINTED CURB - REFER LANE 2 TO PARKING - FIRE LANE IDENTIFICATION SIGNS INSTALLED EVERY 100 FEET - TYPICAL
 - (21) NOT USED
 - (28) STORM DRAINAGE CATCH BASIN - REFER TO SHEETS C-201 & C-301 AND DETAIL 
 - (29) FIRE LANE IDENTIFICATION SIGN
 - (30) TH CURVED PICKET-TOP STYLE FENCE W/CONCRETE CURB AROUND PERIMETER OF SITE.
 - (31) TH CURVED PICKET-TOP STYLE GATE FOR PEDESTRIAN ACCESS
 - (32) TH CURVED PICKET -TOP NOTORIZED/ROLLING GATE FOR VEHICULAR ACCESS
 - (33) REMOVE (E) 4" H CHAIN LINK FENCING AROUND PERIMETER OF SITE ONLY AS REQUIRED TO INSTALL TH ORNAMENTAL METAL FENCING I 4" H FENCING AROUND PONDING BASIN. DO NOT DEMO OTHERWISE.
 - (34) TYPICAL ACCESSIBLE PARKING STALL PER DETAIL 
 - (35) FLAGPOLE I FLAG - REFER TO SPEC SECTION 02350
 - (36) FUTURE CONCRETE FLAT WORK - TO BE COMPLETED WITH FUTURE RELOCATABLE BUILDINGS
 - (31) FUTURE PLANTER - TO BE COMPLETED WITH FUTURE FLATWORK AND FUTURE RELOCATABLE BUILDINGS
 - (38) MAIN ELECTRICAL SWITCHBOARD - REFER TO SHEET E-101
 - (39) DISTRIBUTION PANEL - REFER TO ELECTRICAL SHEET E-101
 - (40) ASPHALT CONCRETE IMPROVEMENT PER CIVIL SHEET C-201 - TYPICAL IN PARKING LOT

LEGEND

- BUILDING FOOTPRINT**

EXISTING CHAINLINK FENCE

SITE POLE LIGHT - REFER TO ELECTRICAL DRAWINGS

EXISTING TREES TO REMAIN; PROTECT FROM DAMAGE THROUGH COURSE OF CONSTRUCTION - TYPICAL REFER TO SHEET L-201

PROPERTY LINE

PROJECT ALTERNATE - SEE SCHEDULE OF ADDITIVE ALTERNATES ON THIS SHEET

AREAS OF LANDSCAPING - REFER TO PLANTING PLAN ON SHEET L-201

FIRE LANE - RED PAINTED CURB W/FIRE LANE IDENTIFICATION SIGNS INSTALLED EVERY 100 FEET - TYPICAL

CONCRETE FLATWORK - REFER TO SHEET C-201

VARIES.

VARIES

VARIOUS (N) PLANTS - REFER TO SHEET L-201 PLANTING PLAN FOR COMPLETE PLANT LEGEND, TREE SUMMARY, NOTES AND RELATED LANDSCAPING INFORMATION

SCHEDULE OF ADDITIVE ALTERNATES (THIS SHEET)

- | | |
|---|---|
|  | ALTERNATE #2: RELOCATABLE BUILDINGS 1 & 2.
SHALL INCLUDE RELOCATABLE BUILDINGS, WATER AND SEWER CONNECTIONS, CONCRETE FLATWORK AND ELECTRICAL. |
|  | ALTERNATE #3: RELOCATABLE BUILDINGS 3 & 4.
SHALL INCLUDE RELOCATABLE BUILDINGS, WATER AND SEWER CONNECTIONS, CONCRETE FLATWORK, LANDSCAPING AND ELECTRICAL. |

GENERAL NOTES

1. SITE FENCING: W/VEHICULAR 4 PEDESTRIAN ACCESS. PROVIDE T-07H COMMERCIAL STRENGTH WELDED STEEL PANEL ORNAMENTAL FENCING AROUND ENTIRE SITE. FENCING COMPONENTS TO INCLUDE 14 GA. STEEL POSTS @ 8' 0" O.C.; TOP AND BOTTOM HORIZONTAL RAILS UP TO 4' 0" HIGH @ 3/4" x 1/4" MIN. THICKNESS. TOP RAIL TO BE 1" TOP OF PICKETS SHALL CURVE OUTWARD 10' TOWARDS PROPERTY LINE. TWO ROLLER VEHICULAR ACCESS GATES AND TWO PEDESTRIAN ACCESS GATES TO BE LOCATED AT EACH CORNER. GATES TO BE 12' 0" x 36' 0" (12' 0" x 35' 0" CONCRETE HOW STRIP SHALL RUN BENEATH THE ENTIRE FENCE. REFER TO NUMBERED NOTES 30, 31, 32, THIS SHEET
2. THE VEHICULAR GATES SHALL HAVE SLIDING GATE OPERATORS WITH A ROLLER LOCATED IN THE MULTI-PURPOSE BUILDING STORAGE ROOM. REFER TO NOTE 30.
3. WAIVER OF PLANNING DEPT. REQUIREMENT FOR APPROVED HONEYWALL ALONG NORTHERN PROPERTY LINE. REQUIREMENT FOR SLOTTED ZONING MODIFICATION NO. 04-0794

2424 COTTONWOOD ROAD:
CAPK COMMUNITY CENTER
PARCEL #5 ID: 170-27-005
ATN ID: 17027005004
APPROX. 205,656 SF (4.72 ACRES)
ZONE M-2